



Zoning Board of Appeals Agenda
October 16, 2025

A regular meeting of the Cadillac Zoning Board of Appeals is scheduled for 5:30 p.m. on Thursday, October 16, 2025. Items of discussion are as follows.

CALL TO ORDER

ROLL CALL

1. Approval of the agenda for October 16, 2025.
2. Approval of the July 17, 2025, meeting minutes.
3. Public Comment
4. Communications
 - A. Variance Approval Process Refresher
 - B. Zoning Code Rewrite
5. Public Hearing
 - A. Variance application filed by Midway Signs, on behalf of Bry-Lex Cadillac LLC owner of 903 N Mitchell St, requesting a sign setback variance of 6 ft.
 - B. Variance application filed by Jada & Doug Schmittling owner of 1302 Walnut St., requesting a side yard variance of 5 ft on both sides, and a rear yard variance of 15ft.
6. New Business
7. Old Business
8. Board Member Comment
9. Public Comment
10. Adjourn

NOTE: The City of Cadillac complies with the "Americans with Disabilities Act." If auxiliary aids or services are required at a public meeting for individuals with disabilities, please contact Theresa Waldo, Community Development Director, at (231) 779-7325 at least three business days prior to any such meeting.



MEETING MINUTES
Cadillac Zoning Board of Appeals
5:30 P.M.
July 17, 2025

CONVENE MEETING

Chairperson Nichols called to order a meeting of the Cadillac Zoning Board of Appeals at 5:30 p.m. on July 17, 2025.

ROLL CALL

MEMBERS PRESENT: Bontrager, Nichols, Hutchinson, and Brown

MEMBERS ABSENT: Ault

STAFF PRESENT: Waldo, Timmer, and Mallory Reeder (City Attorney, FosterSwift, attended remotely)

APPROVAL OF MEETING AGENDA

Motion by Brown to approve July 17, 2025, meeting agenda. Support by Bontrager. The motion was unanimously approved on a roll call vote.

APPROVE THE MARCH 20, 2025, MEETING MINUTES

Motion by Bontrager to approve March 20, 2025, meeting minutes. Supported by Brown. The motion was unanimously approved on a roll call vote.

PUBLIC COMMENT

None.

PUBLIC HEARING AND BOARD ACTION

Variance application filed by Dean Sinclair, owner of 636 Holly Rd, requesting a rear yard (street side) setback variance of 21 feet to construct a 29 x 25 feet addition to the existing garage attached to the dwelling at 636 Holly Rd resulting in a setback of 14 feet.

Timmer gave a brief presentation regarding the property and the variance request.

Hutchinson questioned the neighboring setback information. Timmer explained the neighboring properties setbacks.

Reeder reminded the board that they should be looking to see if this property has practical difficulties that justify the need for such variance and not what other properties have been granted.

The applicant, Dean Sinclair, addressed the board. Sinclair stated that his family is growing, and they would like to enjoy their Cadillac home on a more full-time basis. Sinclair confirmed that the neighboring properties were aware of the proposed addition, and they were both supportive of such plan.

Hutchinson asked the applicant why he did not rotate the garage to lessen the variance request. Sinclair explained that if the proposed 29ft side of the garage ran along the house, it would cover up windows and entryway into the house as well as need a side yard variance request.

Board discussion took place regarding the variance request and the practical difficulty this parcel has due to being on lake front as well as the findings laid out in the staff report.

Motion by Brown to authorize a rear yard (street side) setback variance of 21 feet as detailed in the site plan provided for 636 Holly Rd, based on the findings laid out in the staff report the condition that the front yard fence be removed. Supported by Bontrager.

Motion failed with a 3-1 vote with Hutchinson opposing.

Brown asked Hutchinson to explain her concerns with such variance. Hutchinson stated that she believes the garage could be built smaller therefore a lesser variance would be needed.

Timmer reminded board members to have open communication with staff and that staff are available before or during the meeting for any questions that they might have regarding applications.

Discussion took place with the board and applicant regarding potential modifications to site plan for a variance request.

NEW BUSINESS

None.

OLD BUSINESS

None.

BOARD MEMBER COMMENTS

None.

PUBLIC COMMENTS

None.

ADJOURN

There being no further business, Motion by Brown to adjourn the meeting of the ZBA at 6:21 P.M. Supported by Bontrager. All in favor.

MEMO

FOSTER SWIFT
FOSTER SWIFT COLLINS & SMITH PC || ATTORNEYS

TO: City of Cadillac Zoning Board of Appeals
FROM: Mallory E. Reader
DATE: July 18, 2025
RE: Variance Approval Process

This memo provides an overview of the process the Zoning Board of Appeals (the “ZBA”) is required to follow when considering a variance request.

Zoning Authority Generally

The Michigan Zoning and Enabling Act (“MZEA”) governs the creation and administration of local zoning ordinances and provides:

The legislative body of a local unit of government may provide by ordinance for the manner in which the regulations and boundaries of districts or zones shall be determined and enforced or amended or supplemented. Amendments or supplements to the zoning ordinance shall be adopted in the same manner as provided under this act for the adoption of the original ordinance.

MCL 125.3202(1). Although the MZEA does not explicitly define “variance,” Michigan case law and other authorities provide clear guidance on this term.

Variances

A variance is an authorization to deviate from a requirement of the zoning ordinance. It is, in effect, permission to violate the zoning ordinance because of an undue or unnecessary hardship or practical difficulty related to some characteristic of the land that is not self-created by the landowner/applicant. The ZBA has the discretion and authority to grant a variance. MCL 125.3604. There are two classes of variances: a dimensional (or non-use) variance and a use variance.

Dimensional/Nonuse Variance

The most common variance is a dimensional variance, sometimes referred to as an area or non-use variance. “Non-use variances are not concerned with the use of the land but, rather, with changes in a structure’s area, height, setback, and the like.” *Grabow v Macomb Twp*, 270 Mich App 222, 226 n3; 714 NW2d 674 (2006) (quoting *National Boatland, Inc v Farmington Hills Zoning Bd of Appeals*, 146 Mich App 380, 387; 380 NW2d 472 (1985)). “These requests typically pertain to buildings and structures that physically cannot be constructed in the location required by the zoning ordinance or there are other ordinance requirements that can’t be met.” [Michigan Association of Planning](#) (2020).

Common subjects of this type of request include front, side, or rear yard setback requirements; landscaping restrictions; lot coverage restrictions; height regulations; parking; and vehicular access regulations. See also [Handbook for Municipal Officials](#) (July 2015) (“Nonuse variance requests are typically associated with modifications of required yard setbacks, building heights, parking requirements, landscaping or buffering restrictions, and related building or facility placement matters and sizes.”).

The standard for granting a nonuse variance is “practical difficulties.” To have a practical difficulty, “some aspect of the property must be unique.” MCL 125.3604(7); [Michigan Association of Planning](#). For example, “properties with odd dimensions, steep slopes, or unusual easements.” [Michigan Association of Planning](#). Michigan “has not established criteria for determining when a landowner will suffer a practical difficulty from enforcement of a zoning ordinance. Some cases have suggested that, at the very least, the landowner must show that the problem is unique to his land, not shared by all others.” *National Boatland*, 146 Mich App at 387.

The requirement that there be a practical difficulty with complying with the zoning ordinance is found in the City’s Zoning Ordinance. Section 46096(b)(2) gives the ZBA power to authorize a variance “where by reason of exceptional narrowness, shallowness, shape or area of a specific piece of property at the time of enactment of this chapter or by reason of exceptional conditions of such property, the strict application of the regulations enacted would result in peculiar or exceptional practical difficulties[.]”

Put another way, a practical difficulty *must be related to the land*, not the applicant’s personal or economic circumstances.

Use Variance

A use variance authorizes use of land that is otherwise not allowed in that zoning district either as a permitted or special land use. Although similar to a special land use in to the extent that it is concerned with the use of land, a use variance is not expressly provided for in a municipality’s zoning ordinance. In effect, use variances *rezone* property, which can result in spot zoning. See *Paragon Props Co v. Novi*, 452 Mich 568, 575; 550 NW2d 772 (1996) (noting that “the effect of a land use variance is similar to rezoning because variances typically run with the land.”). To avoid spot zoning issues, use variances are less common and more restricted. The MZEA limits the authority to grant use variances to:

- a) Cities and villages
- b) Townships and counties that as of February 15, 2006 had an ordinance that uses the phrase “use variance” or “variances from uses of land” to expressly authorize the granting of use variances by the zoning board of appeals
- c) Townships and counties that granted a use variance before February 15, 2006.

MCL 125.3604(9); see also [Michigan Association of Planning](#).

The standard for use variances is “unnecessary hardship.” MCL 125.3604(7). To show unnecessary hardship, there must be substantial evidence that:

- (1) the property cannot reasonably be used in a manner consistent with existing zoning;
- (2) the landowner's plight is due to unique circumstances and not general neighborhood conditions;
- (3) the use authorized by the variance will not alter the essential character of the locality; and
- (4) the hardship is not self-created.

See *City of Detroit v City of Detroit Bd of Zoning Appeals*, 326 Mich App 248, 261; 926 NW2d 311 (2018) (citing *Janssen v Holland Charter Twp Zoning Bd of Appeals*, 252 Mich App 197, 201; 651 NW2d 464 (2002)).

The unnecessary hardship requirement is reiterated by the City's Zoning Ordinance. Section 46096(b)(2) gives the ZBA power to authorize a variance "where by reason of exceptional narrowness, shallowness, shape or area of a specific piece of property at the time of enactment of this chapter or by reason of exceptional conditions of such property, the strict application of the regulations enacted would result in ... exceptional undue hardship[.]"

Process

When approving or denying a variance request, it is very important that all findings be made on the record. Due process requires ZBAs to specify findings of facts underlying their conclusion that the application of a zoning restriction creates a practical difficulty or undue hardship. *Badanek v Schroskey*, 21 Mich App 582; 175 NW2d 784 (1970); *Farah v Sachs*, 10 Mich App 198; 157 NW2d 9 (1968). Mere repetition of ordinance language is not enough to satisfy this requirement, nor are conclusory findings. *Thomas v Busch*, 7 Mich App 245, 256; 151 NW2d 391 (1967). Rather, a ZBA must specify why the property meets, or does not meet, the requirements for a variance.

One way to ensure the required findings are recorded is to use a resolution to approve or deny the request. The resolution should lay out the findings and reasons why each requirement is or is not met. Such a resolution can then be adopted by a motion of the ZBA. A resolution is not required, and the decision can be made by motion alone. However, it is important the ZBA clearly state on the record their findings in support of their decision.

In addition to first determining whether there are practical difficulties for a nonuse variance or undue hardship for use variances, the City's Zoning Ordinance provides additional standards for which the ZBA must make findings:

- (1) Whether the proposed variance will impair an adequate supply of light and air to adjacent property;
- (2) Whether the proposed variance will result in an unreasonable increase in congestion on public streets;

- (3) Whether the proposed variance will increase the danger of fire or endanger public safety;
- (4) Whether the proposed variance will unreasonably diminish or impair established property values within the surrounding area; and,
- (5) Whether the proposed variance will in any other respect impair the public health, safety, comfort, morals or welfare of the inhabitants of the city.

City Code § 46-69(b)(4). Furthermore, the ZBA may grant a variance only if such relief from the practical difficulty or undue hardship “may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of [the Zoning Ordinance].” City Code § 46-69(b)(2). “In granting a variance, the [ZBA] shall state the grounds upon which it justifies the granting of a variance.” *Id.*

After holding a public hearing on the variance request, a vote of four ZBA members is required to grant the variance. City Code § 46-69(b)(4). The decision of the ZBA is final. MCL 125.3605. A party aggrieved by the decision may appeal to the Wexford County Circuit Court. *Id.* Circuit courts review ZBA decisions to determine whether:

- (1) The decision complies with the constitution and laws of the state;
- (2) The decision is based upon proper procedure; and,
- (3) The decision is supported by competent, material, and substantial evidence on the record;
- (4) The decision represents the reasonable exercise of discretion granted by law to the ZBA.

MCL 125.3606(1).

However, courts defer to the ZBA’s findings of fact. *Pegasus Wind, LLC v Tuscola Cnty.*, 513 Mich 35, 45; 15 NW3d 108 (2024). This is why it is essential that the ZBA put its findings on the record. “If the court finds the record inadequate to make the review required by this section or finds that additional material evidence exists that with good reason was not presented, the court shall order further proceedings on conditions that the court considers proper.” MCL 125.3606(2).

Conclusion

In summary, the MZEA sets forth the legal framework by which ZBAs review and decide requests for variances from zoning ordinances. There are two principal types of variances—dimensional (nonuse) and use variances—each with its own distinct standards and procedural requirements. Dimensional variances require a showing of “practical difficulties,” meaning unique characteristics of the land that prevent compliance with existing regulations, while use variances demand evidence of “unnecessary hardship.”

Throughout the process, the ZBA is obligated to make thorough and specific findings of fact on the record, addressing both statutory and local ordinance criteria. This not only ensures transparency, but also protects the decision from successful legal challenges by providing the reviewing courts with a comprehensive record. Ultimately, the process balances individual property rights with the broader goals of urban planning, public welfare, and the integrity of the community's zoning scheme. The careful observance of these procedures strengthens due process guarantees and preserves the zoning ordinance's intent and purpose.

Please let us know if you have any questions.

26499:00004:201753510-3

ZONING BOARD OF APPEALS STAFF REPORT DIMENSIONAL VARIANCE APPLICATION

Meeting Date: October 16, 2025

Applicant/Owner: Midway Signs

Property Address: 903 N Mitchell, Cadillac, Michigan 49601

Parcel Number: 10-084-00-094-01

Request: Sign Setback Variance of 6 ft.

Attachments: Application

Prepared By: Theresa Waldo, Community Development Director

Site Information:

903 N Mitchell Street, 10-084-00-094-01 is described as:

THE N 106 FT OF THE S 1/2 FT OF LOT 13, BLK V. G.A.MITCHELLS PLAT OF THE NE 1/4.SEC 33-22-9. CITY OF CADILLAC COMBINED ON 06/26/2024 WITH 10-084-00-092-00 INTO 10-084-00-094-01;

903 N Mitchell is zoned B-3 district, the intent is general business districts are designed to provide sites for more diversified business types which would often be incompatible with the pedestrian movement in the local business district or the community business district.





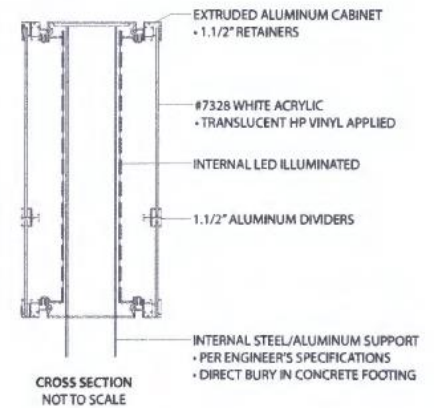
903 N Mitchell Street

Variance Request

Section 46-664 of the Zoning Ordinance defines a pole sign (which may also be referred to as a monument sign or ground-mounted sign) as “a freestanding sign which is supported by one or more uprights.” According to the ordinance, pole signs must be set back from property lines by at least one-half of the required yard setback for the relevant district or by at least 50 feet from the traveled, paved portion of the adjacent street—whichever distance is less. In all cases, the sign cannot be placed closer to the traveled portion of a public street than the sign’s own height. In the B-3 district, the front yard setback is 20 feet, requiring a minimum setback of 10 feet from the property line for any pole sign (Zoning Ordinance § 46-629).



The proposed location for the sign is 15 feet wide, with a midpoint of roughly 7.5 feet, which falls short of the required 10-foot minimum setback. The applicant is therefore requesting a variance to allow the sign to be set back 6 feet from the point where the grass meets the sidewalk.



Surrounding Area Characteristics of Sign Setbacks

Sign setbacks in the area immediately surrounding the subject property display a significant range. In the City of Cadillac zoning ordinance, the standard setback for new signage in the B-3 (General Business) District is 10 feet. Despite this standard, an examination of properties along North Mitchell Street indicates a mix of sign placements, with some older or non-conforming signs positioned closer to the right-of-way. Within the downtown commercial district, which encompasses Mitchell Street, it is common to find varying sign setbacks. These differences are largely attributable to the age of the buildings and the timing of sign installation.

EXAMPLES (no variance given at the ZBA in the past 5 years for these signs)



845 N Mitchell



919 & 929 Mitchell



Community Development Department

Variance Review Standards

Section 46-69 (b)(2) of the Cadillac City Code states that the Zoning Board of Appeals may authorize a variance from the strict application of the provisions of the Zoning Ordinance where by reason of exceptional narrowness, shallowness, shape or area of a specific piece of property at the time of enactment of the Ordinance or by reason of exceptional conditions of such property, the strict application of the regulations enacted would result in peculiar or exceptional practical difficulties to, or exceptional undue hardship upon the owner of such property, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Ordinance.

Section 46-69 (4) of the Cadillac City Code states that in consideration of a variance, the Zoning Board of Appeals shall first determine that the proposed variance will not result in conditions which:

- 1) Impair an adequate supply of light and air to adjacent property
- 2) Unreasonably increase congestion in public streets
- 3) Increase the danger of fire or endanger the public safety
- 4) Unreasonably diminish or impair established property values within the surrounding area
- 5) In any other respect impair the public health, safety, comfort, morals, or welfare of the inhabitants of the city.

Pursuant to the above, the application was examined based on the variance authorization and review standards of Section 46-69 (4) as follows:

Standard – The requested variance will not impair an adequate supply of light and air to adjacent property.

Finding – Based on the size, design, and placement of the addition and its location to surrounding properties, the addition is not anticipated to significantly impair adequate supplies of light and air to adjacent properties.

Standard - The requested variance will not unreasonably increase congestion in public streets.

Finding – Because the site is located along a primary corridor, the proposed use is not expected to adversely affect traffic congestion.

Standard – The requested variance will not increase the danger of fire or endanger public safety.

Finding – The requested variance will not place the business in a position likely to increase the danger of fire to surrounding properties nor endanger public safety. The proposed sign will be subject to the receipt of proper building permits, and all construction must conform to modern building code and fire safety standards.

Standard – The requested variance will not unreasonably diminish or impair established property values within the surrounding area.

Finding - The addition will add value to the parcel thereby adding a positive benefit to the value of the city.

Standard – The requested variance will not impair the public health, safety, comfort, morals, or welfare of the inhabitants of the city.

Finding –The proposed use is permitted within the underlying zone district and is consistent with the Business district character. In addition to zoning, the use of the property is regulated by environmental ordinances governing factors such as noise, blight, and the like.

Public Comments

Resulting from Public Notifications - Notification of the public hearing on this application was given via first-class mail to all property owners within 300 feet of the subject site. A notice of the hearing was placed in the Cadillac News, published on the City of Cadillac website, and posted on the doors at the Cadillac Municipal Complex. These notices were provided not less than 15 days prior to the hearing date. As of the date of this staff report the city has not received any written communication from the public as a result of these notifications.

Included in the Variance Application Packet - The variance application packet (part of the staff report).

Board Action

Based on a finding of compliance or non-compliance with the standards of the ordinance, the Board shall approve, approve with conditions, or deny the variance application. Reasonable conditions may be attached to an approval to achieve compliance with the standards of the ordinance.

Finding Statement and Board Action (Example)

Based on the following findings, it was moved by _____, supported by _____ to _____ the following:

The applicant is requesting a sign setback variance of 6 ft. The property is zoned B-3, General Business District. Section 46-664 of the Cadillac Zoning Ordinance requires a setback of 10 feet.

Conditions: If none, indicate none.



**NOTICE OF PUBLIC HEARING
CADILLAC ZONING BOARD OF APPEALS
SETBACK VARIANCE APPLICATION
903 N MITCHELL ST, CADILLAC, MICHIGAN**

The Cadillac Zoning Board of Appeals will conduct a public hearing at its regularly scheduled meeting on Thursday, October 16, 2025, at 5:30 p.m. at the Cadillac Administrative Office, 200 North Lake Street, Cadillac, Michigan 49601 for the receipt of comment on an application filed by Midway Signs, on behalf of Bry-Lex Cadillac LLC owner of 903 N Mitchell St. The applicant is requesting a sign setback variance of 6 ft. The property is zoned B-3, General Business District. Section 46-664 of the Cadillac Zoning Ordinance requires a setback of 10 feet. The property is described as THE N 106 FT OF THE S 1/2 FT OF LOT 13, BLK V. G.A.MITCHELLS PLAT OF THE NE 1/4.SEC 33-22-9. CITY OF CADILLAC COMBINED ON 06/26/2024 WITH 10-084-00-092-00 INTO 10-084-00-094-01;

The application may be reviewed at the city offices at 200 N. Lake Street between the hours of 9:00 a.m. and 5:00 p.m. Questions or written comments regarding the above application should be directed to the Community Development Department, 200 N. Lake Street, Cadillac, MI 49601. Written comments must be received at the Cadillac Administrative Offices no later than 5:00 p.m. of the public hearing date to be included in the public hearing record. The City of Cadillac complies with the "Americans with Disabilities Act." If auxiliary aids or services are required at a public meeting for individuals with disabilities, please contact the Community Development Department, 231-775-0181, at least three (3) business days prior to any such meeting.

RECEIVED

AUG 07 2025



Fee: _____ Payment: _____ Received Date: _____
 Planning Board Approval: _____
 City Council Approval: _____
 Zoning Board of Appeals: _____

Zoning Application

Please select the appropriate Zoning Application you are requesting. The directions for each are listed on the following page.

Zoning Applications

☐ Rezoning \$200	☒ Zoning Board of Appeals \$150
☐ Planned Unit Development (PUD)	☐ Planning Commission Regular Business \$35 (i.e., Sign Reviews)
☐ Street Vacation \$200	☐ Site Plan Reviews \$85 (Includes 2 reviews Additional reviews charged \$50/Hr by Fire Marshall)
☐ Special Land Use \$150	
☐ Plat (Includes Preliminary & Final) \$200	

Owner Name Brw Lex Holdings LLC Owner Telephone [REDACTED]
 Owner Address [REDACTED] Owner Email [REDACTED]
 Applicant/Representative midway Signs Applicant Telephone [REDACTED]
 Applicant Address 3222 Commerce Centre Dr Applicant Email [REDACTED]
 Subject Property Address 403 n mitchell
 Legal Description of Subject Property *Legal Description is preferred submitted electronically in WORD Format*

Total Acreage _____ Building Dimensions (LxWxH) _____
 Construction Type _____ Number of Stories 1
 Zone Classification: Present B 3 Proposed same
 Present Use of Property Subway restaurant
 Proposed Use of Property same

The City of Cadillac must be given knowledge of every person having legal or equitable interest in land subject to this petition. It must include:

NAME, ADDRESS, EMAIL ADDRESS, PHONE NUMBER, and INTEREST

1. Brad Lape [REDACTED] [REDACTED] [REDACTED] [REDACTED]
2. _____
3. _____
4. _____

I hereby certify that I have a legal or equitable interest in all land subject to this petition and hereby grant permission allowing City personnel on the premises.

Signature of Owner [Signature]
 Signature of Applicant Carla Ritchie

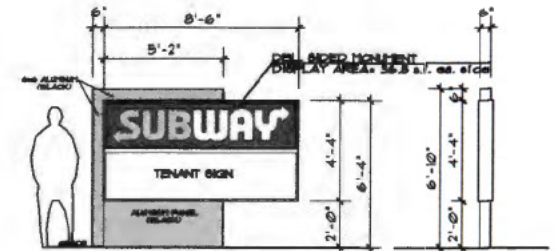
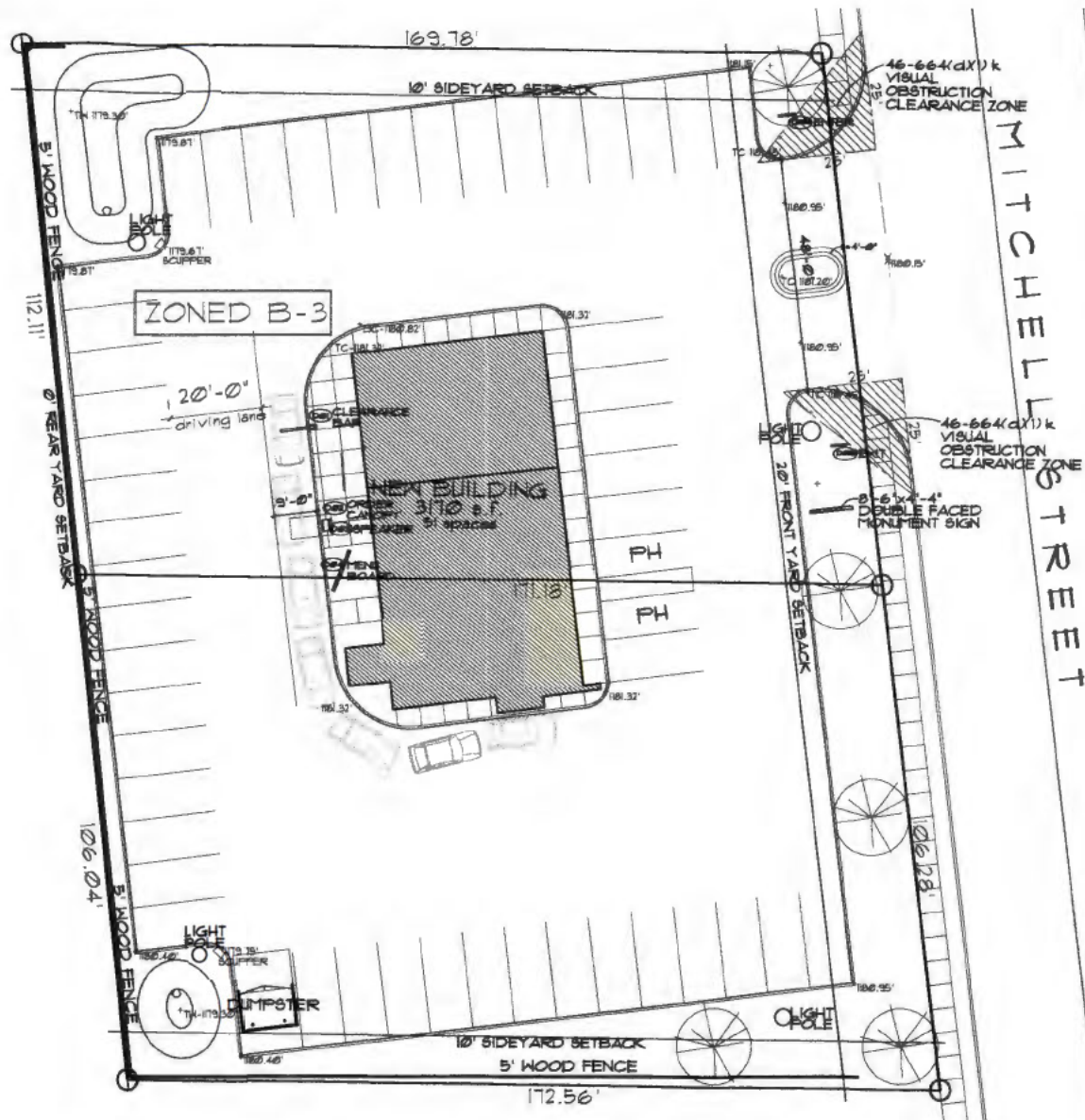
8-6-25
 Date 8-4-25
 Date _____



3220 Commerce Centre Dr
Saginaw, MI 48601
signs@midwaysignsinc.com

Legal Description: THE N 106 FT OF THE S 1/2 FT OF LOT 13, BLK V. G.A.MITCHELLS PLAT OF THE NE 1/4.SEC 33-22-9. CITY OF CADILLAC COMBINED ON 06/26/2024 WITH 10-084-00-092-00 INTO 10-084-00-094-01;

For the proposed signage to be effective in the event of visibility for customers/traffic, the monument size would need to remain at the current size of 8'6". The signage has already been manufactured based on property specifications that were given by the architect, which later were found to be incorrect. If not given the approval to have a 6 foot setback from the sidewalk, a financial hardship would be placed on the business due to the cost of re-manufacturing the sign to a smaller size and this could also create safety issues within the community because a smaller sign would cause customers/traffic to have a shorter response time to locate the business which in turn can cause traffic accidents to occur.



WSG ARCHITECT William Stuart Guller Architect 1000 West 10th Avenue Suite 100 Denver, CO 80202 (303) 733-1111	PROJECT SUBWAY/TENANT SIGNAGE	DATE 3/22/05
	CLIENT MR. H. MITCHELL CADILLAC, MI	SHEET NO. 1

GENERAL

THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION & CORRELATION OF ALL ITEMS & WORK NECESSARY FOR COMPLETION OF THE PROJECT AS INDICATE HEREIN. THE CONTRACTOR SHALL REQUEST ALL NECESSARY INTERPRETATION/CLARIFICATIONS FROM THE ARCHITECT BEFORE BEGINNING THE PROJECT.

THE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT SPECIFY OR INDICATE CONSTRUCTION METHODS OR CONSTRUCTION LOADINGS, WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR. ANY MATERIAL NOT IN SPEC OR IMPROPERLY INSTALLED OR DAMAGED SHALL BE REMOVED & REPLACED WITH SPECIFIED MATERIALS.

CONTRACTOR IS TO VERIFY ALL CONDITIONS PRIOR TO INSTALLATION. NOTIFY ARCHITECT OF ANY CONDITIONS DIFFERING FROM WHAT IS INDICATED ON THE DRAWINGS.

BUILDING CODE

ALL PHASES OF WORK SHALL COMPLY TO THE 2015 MICHIGAN BUILDING CODE.

DESIGN ASSUMPTIONS

NON-CONSTRAINED INSTALLATION

RISK CATEGORY: 1

BASIC WIND SPEED: 150 MPH

EXPOSURE CLASSIFICATION: B (URBAN)

SNOW LOAD: N/A

BASIS FOR WIND PRESSURE: ASD

GUST FACTOR CATEGORY I RIGID STRUCTURES = 0.85 (SIMPLIFIED METHOD)

SOIL CLASSIFICATION (USDA NRCS WEB SOIL SURVEY:

COLOMA SAND 95% - TYPE SWBP

PASSIVE LATERAL SOIL BEARING PRESSURE = 150 PSF (INCREASE PRESSURE 2x TO 300 PSF PER SECTION 1806.3.4)

CALCULATIONS - LATERAL RESISTANCE

OVERTURNING MOMENT (ASCE 7-16) = 3.611 F-1b

WIND PRESSURE = 1044 lbs

b = 8.63'

P = 836 lbs

h = 4.33'

$S_x = \frac{1}{2} (3.5 \text{ ft}) \times (150 \text{ psf} \times 2) = 350 \text{ lbs}$

$A = (2.34 \times 836) / (350 \times 8.63) = 0.647$

$d = 0.5 \times 0.647 \times (1 + 6.07(14(4.36 \times 4.33)/0.647))$

= 2.1 FT WHICH IS LESS THAN THE 3.5 FT FROST DEPTH

OK

CALCULATIONS - VERTICAL LOADS

AREA OF FOUNDATION = (1.5 ft) x (9 ft) = 13.5 sf

WEIGHT OF FOUNDATION = (3.6 ft) x (13.5 sf) x (150 psf) = 7290 lbs.

EST. WEIGHT OF SIGN = $0.25 \times (6.33 \text{ ft} \times 0.5 \text{ ft} \times (1 \text{ ft} \times (165 \text{ psf})$

= 2220 lbs

VERTICAL SOIL BEARING PRESSURE

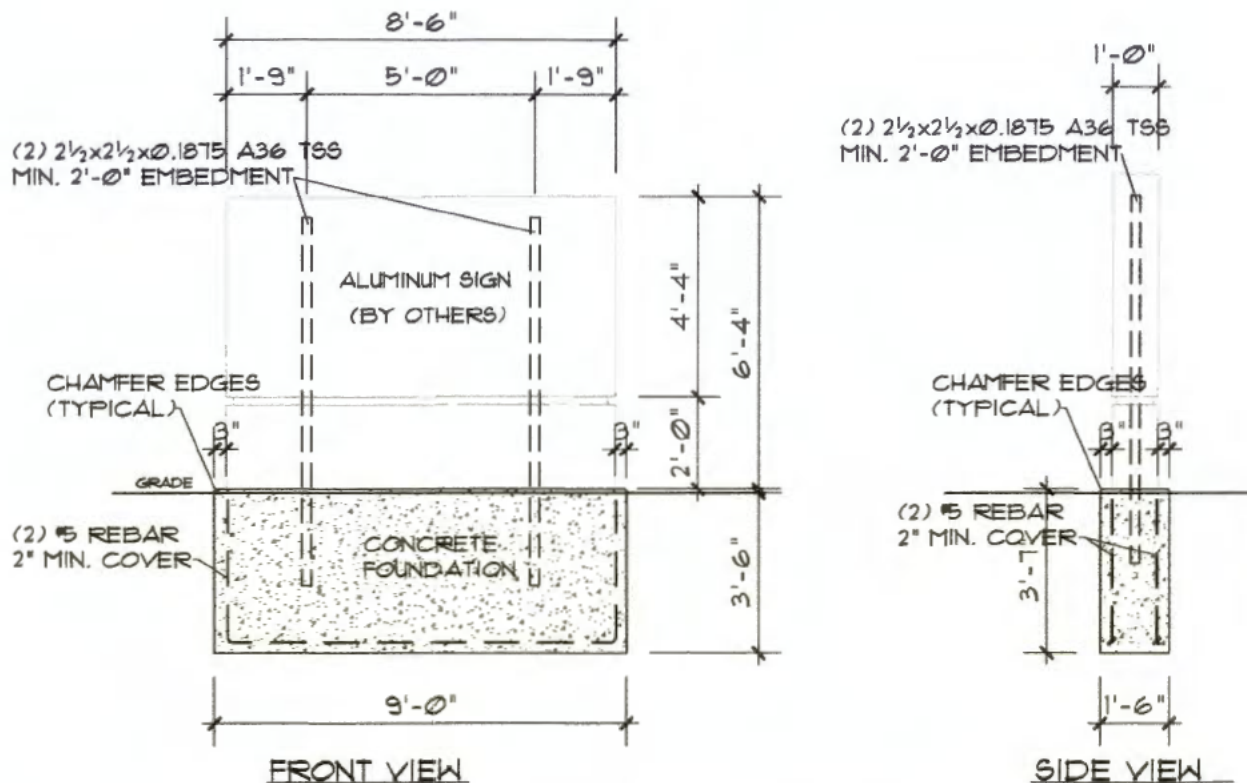
VSBP = $(7290 + 2220) / 13.5 = 705 \text{ psf}$ WHICH IS LESS THAN THE 2000 psf ALLOWABLE FOR THIS TYPE OF SOIL. OK

SPECIFICATIONS

FOOTING TO BE PLACED ON UNDISTURBED SOIL OR STRUCTURAL FILL COMPACTED TO 95% OF MAXIMUM DENSITY. ASSUMED SOIL BEARING PRESSURE 2,000 PSF.

CONCRETE MIXING/PLACING/CURING PER ACI 318, 3,000 PSI STRENGTH AT 28 DAYS.

STRUCTURAL STEEL REBAR TO BE ASTM A615 GRADE 60, F_y 60,000 PSI MINIMUM. TUBULAR STEEL SHAPES TO BE ASTM A36, F_y 36,000 PSI



MONUMENT SIGN FOUNDATION
SCALE: 3/8" = 1'-0"

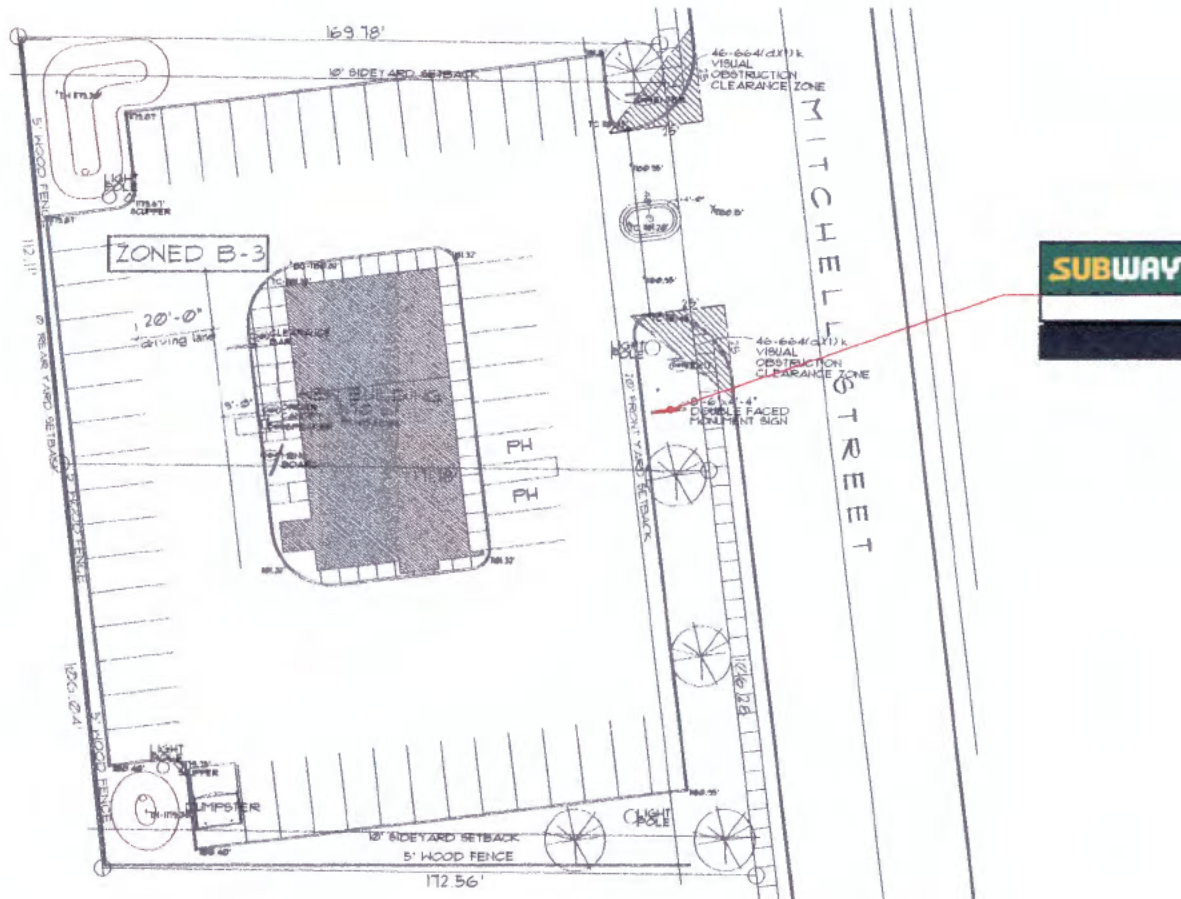


WSG ARCHITECT William Wynn Gifford Architect www.wsgarchitect.com 313.281.0000	PROJECT: MONUMENT SIGN FOUNDATION SHEET: 1 OF 1 DATE: 7/23/09	
	CLIENT: GURHAY/TENANT SIGNAGE DESIGNED BY: ROB H. MITCHELL CHECKED BY: CADELLAG, M	



903 N. MITCHELL
CADILLAC, MI

APRIL 9, 2025
DRAFT 1

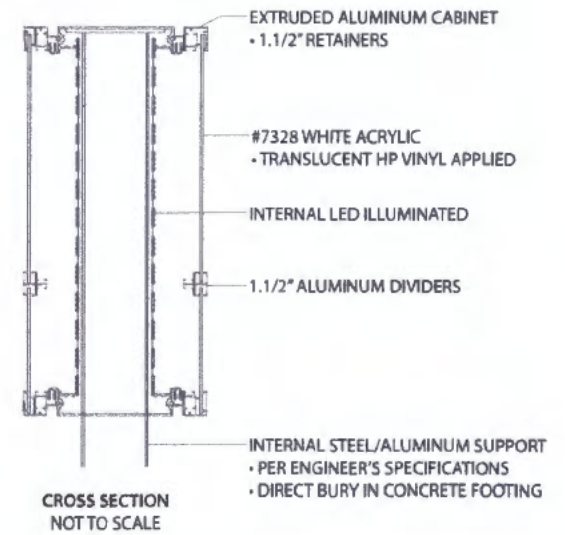


Customer Approval: _____ Date: _____

Please be advised the attached artwork is the property of Midway Signs, Inc. and is protected under U.S. copyright law. It is provided for your information and review only. The distribution or utilization of this artwork is strictly prohibited without the written permission of Midway Signs, Inc.

DRAWING: 10322_SITE DATE: 4.9.25
REVISION: SCALE: NTS

MONUMENT SIGN



Customer Approval: _____ Date: _____

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■ PMS 7548C
■ PMS 2426C/#3630-156 VIVID GREEN
■ BLACK



DRAWING: 10322_1 DATE: 4.9.25
 REVISION: SCALE: 3/8"=1'-0"

**ZONING BOARD OF APPEALS STAFF REPORT
DIMENSIONAL VARIANCE APPLICATION**

Meeting Date: October 16, 2025

Applicant/Owner: Jada & Doug Schmittling

Property Address: 1302 Walnut Street, Cadillac, Michigan 49601

Parcel Number: 10-064-00-207-00

Request: The applicant is requesting a side yard variance of 5 ft on both sides, and a rear yard variance of 15ft

Attachments: Application

Prepared By: Theresa Waldo, Community Development Director

Site Information:

1302 Walnut Street, 10-064-00-207-00 is described as:

The property is described as E 1/2 OF LOTS 1-2-3 & 4, BLK. 9 HIGHWAY PARK ADD. CITY OF CADILLAC

The property located at 1302 Walnut Street is zoned R-2 district

Sec. 46-162. - Intent.

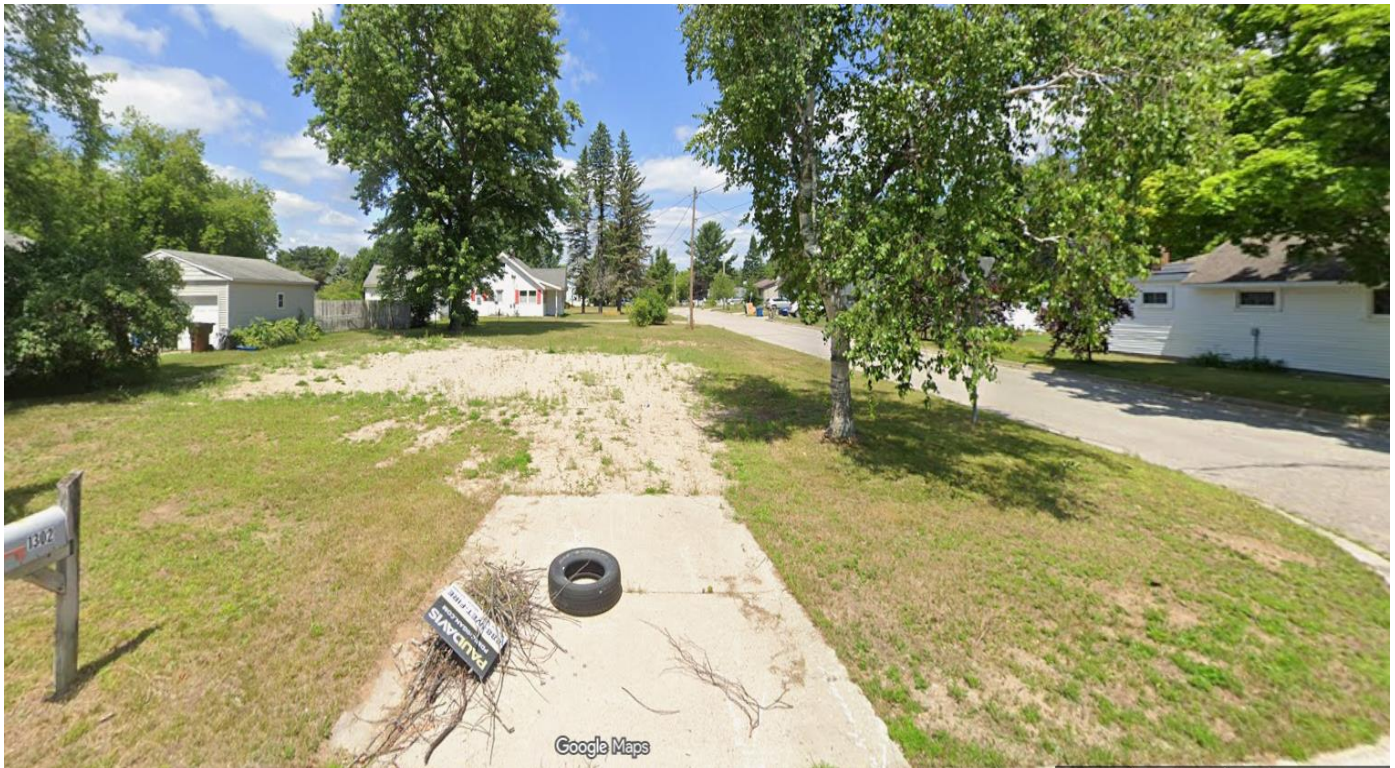
(a)The R-1 through R-4 one-family residential districts are designed to be the most protective of the residential districts. The intent is to provide for an environment of predominantly low-density, one-family detached dwellings along with other residentially related facilities, which serve the residents in the district.

(b)It is also intended that the size, shape and design of structures located within these areas conform with the neighborhood in which they are located so as not to diminish or impair the value of surrounding properties.

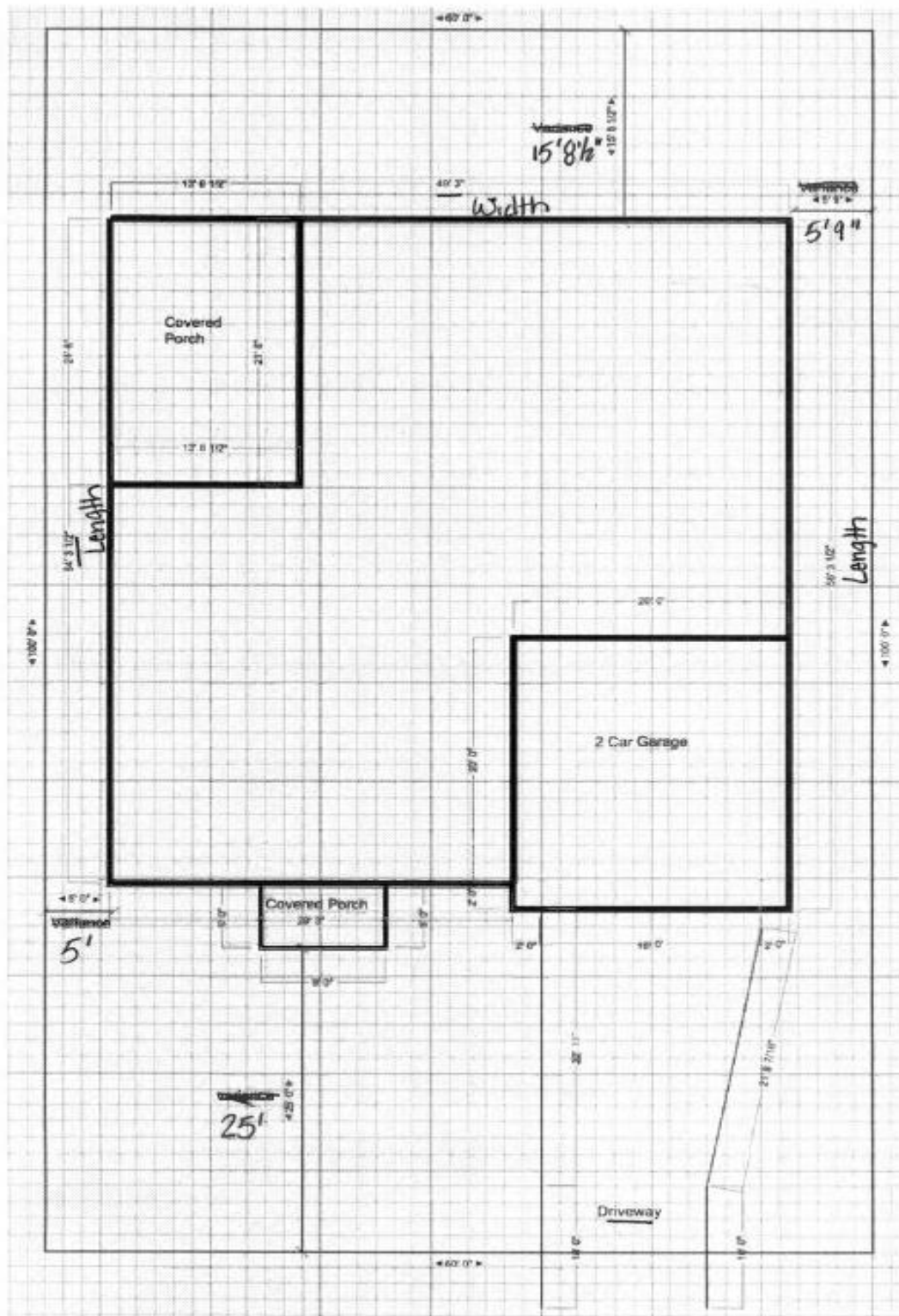
(Prior Code, § 5.31)

1302 Walnut Street, the lot is currently vacant





1302 Walnut Street



Both porches
are covered
(by roof)

Lot:
60' x 100"

Note: there is
no full
driveway
just the
street entrance

Variance Request

Lot size: Front feet 60 and the depth is 100
6,000 sq feet, .138 of an acre.

Zoning Requirement

Variance application filed by Jada & Doug Schmittling owner of 1302 Walnut St., requesting a side yard variance of 5 ft on both sides, and a rear yard variance of 15ft.

Per the zoning ordinance they have two front yards because of corner lot.

- Front Yard: 25 ft (Walnut Street)
- Front Yard: 20ft reduced to 5ft (Rogers Street)
- Side Yard: 8ft reduced to 5ft
- Rear Yard: 30ft reduced to 15ft





The owners intend to develop this property by constructing a single-family residence. Their plans call for a one-story home of approximately 1,900 square feet, including a two-car garage. They have acquired blueprints for a design that suits their requirements. However, after consulting with the local building department, they learned that, as a corner lot, the property requires three zoning variances. While the proposed home will comply with the 25-foot front yard setback required in the R2 zoning district, the owners are seeking variances to reduce the side yard setbacks from 8 feet to 5 feet on both sides and to allow a 15-foot rear yard in place of the 30-foot minimum.

Due to the lot's configuration and municipal zoning requirements, constructing a full-sized single-family home is not feasible without exceeding the permitted building footprint or adding a second story. Given that most homes in the neighborhood are single-story, maintaining this architectural consistency is important for preserving the area's character and community feel. The owners purchased 1302 with the intention of building a modest, functional home that meets their needs and complements the surrounding homes.

To maintain the single-story streetscape, the owners wish to avoid constructing a two-story house. While the proposed residence will be situated closer to the property lines than typically allowed, its single-story design and the layout of the adjacent streets are expected to mitigate any potential visibility or safety concerns.

Surrounding Area Characteristics of Setbacks

The setback of a home in the immediate neighborhood located at 1306 Walnut Street, West of 1302 Walnut Street has these current conditions:

- Front Yard: 30ft
- Side Yard: 5ft
- Side Yard: 15ft
- Rear Yard: 25ft



1306 Walnut

Variance Review Standards

Section 46-69 (b)(2) of the Cadillac City Code states that the Zoning Board of Appeals may authorize a variance from the strict application of the provisions of the Zoning Ordinance where by reason of exceptional narrowness, shallowness, shape or area of a specific piece of property at the time of enactment of the Ordinance or by reason of exceptional conditions of such property, the strict application of the regulations enacted would result in peculiar or exceptional practical difficulties to, or exceptional undue hardship upon the owner of such property, provided such relief may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the Ordinance.

Section 46-69 (4) of the Cadillac City Code states that in consideration of a variance, the Zoning Board of Appeals shall first determine that the proposed variance will not result in conditions which:

- 1) Impair an adequate supply of light and air to adjacent property
- 2) Unreasonably increase congestion in public streets
- 3) Increase the danger of fire or endanger the public safety
- 4) Unreasonably diminish or impair established property values within the surrounding area
- 5) In any other respect impairs the public health, safety, comfort, morals, or welfare of the inhabitants of the city.

Pursuant to the above, the application was examined based on the variance authorization and review standards of Section 46-69 (4) as follows:

Standard – The requested variance will not impair an adequate supply of light and air to adjacent property.

Finding – Based on the size, design, and placement of the home and its location to surrounding properties, the addition is not anticipated to significantly impair adequate supplies of light and air to adjacent properties. Pursuant to this finding.

Standard - The requested variance will not unreasonably increase congestion in public streets.

Finding – Given that the use of the site will remain as a single-family dwelling, the proposed addition and its use by family members are not anticipated to result in a significant increase in the level of traffic presently generated. Furthermore, Walnut has been designed, constructed, and maintained to support daily traffic levels associated with its residential setting.

Standard – The requested variance will not increase the danger of fire or endanger public safety.

Finding – The requested variance will not place the home in a position likely to increase the danger of fire to surrounding properties nor endanger public safety. The proposed addition will be subject to the receipt of proper building permits and all construction must conform to modern building code and fire safety standards.

Standard – The requested variance will not unreasonably diminish or impair established property values within the surrounding area.

Finding - The addition will add value to the parcel thereby adding a positive benefit to the value of the neighborhood.

Standard – The requested variance will not impair the public health, safety, comfort, morals, or welfare of the inhabitants of the city.

Finding –The proposed use is permitted within the underlying zone district and is consistent with the residential character of neighboring properties. In addition to zoning, the use of the property is regulated by environmental ordinances governing factors such as noise, blight, and the like.

Public Comments

Resulting from Public Notifications - Notification of the public hearing on this application was given via first-class mail to all property owners within 300 feet of the subject site. A notice of the hearing was placed in the Cadillac News, published on the City of Cadillac website, and posted on the doors at the Cadillac Municipal Complex. These notices were provided not less than 15 days prior to the hearing date. As of the date of this staff report the city has not received any written communication from the public as a result of these notifications.

Board Action

Based on a finding of compliance or non-compliance with the standards of the ordinance, the Board shall approve, approve with conditions, or deny the variance application. Reasonable conditions may be attached to an approval to achieve compliance with the standards of the ordinance.

Finding Statement and Board Action (Example)

Based on the following findings, it was moved by _____, supported by _____ to _____ the following:

The applicant is requesting a side yard variance of 5 ft on both sides, and a rear yard variance of 15ft. The property is zoned R-2, One-Family Residential District. Section 46-629 of the Cadillac Zoning Ordinance requires a side yard setback of at least 8 ft, with a total of 18 ft. and rear yard setback of 30 ft.

Conditions: If none, indicate none. (Many municipalities acknowledge that corner lots, because of their dual street frontage and atypical shapes, often cannot meet standard setback requirements without limiting viable development options. To address this, local governments may modify zoning ordinances or grant variances, enabling practical building footprints on small or irregular parcels. This approach helps support housing affordability and functional land use while upholding neighborhood standards).



**NOTICE OF PUBLIC HEARING
CADILLAC ZONING BOARD OF APPEALS
SETBACK VARIANCE APPLICATION
1302 WALNUT ST, CADILLAC, MICHIGAN**

The Cadillac Zoning Board of Appeals will conduct a public hearing at its regularly scheduled meeting on Thursday, October 16, 2025, at 5:30 p.m. at the Cadillac Administrative Office, 200 North Lake Street, Cadillac, Michigan 49601 for the receipt of comment on an application filed by Jada & Doug Schmittling owner of 1302 Walnut St. The applicant is requesting a side yard variance of 5 ft on both sides, and a rear yard variance of 15ft. The property is zoned R-2, One-Family Residential District. Section 46-629 of the Cadillac Zoning Ordinance requires a side yard setback of at least 8 ft, with a total of 18 ft. and rear yard setback of 30 ft. The property is described as E 1/2 OF LOTS 1-2-3 & 4, BLK. 9 HIGHWAY PARK ADD. CITY OF CADILLAC.

The application may be reviewed at the city offices at 200 N. Lake Street between the hours of 9:00 a.m. and 5:00 p.m. Questions or written comments regarding the above application should be directed to the Community Development Department, 200 N. Lake Street, Cadillac, MI 49601. Written comments must be received at the Cadillac Administrative Offices no later than 5:00 p.m. of the public hearing date to be included in the public hearing record. The City of Cadillac complies with the "Americans with Disabilities Act." If auxiliary aids or services are required at a public meeting for individuals with disabilities, please contact the Community Development Department, 231-775-0181, at least three (3) business days prior to any such meeting.



RECEIVED

AUG 18 2025

Fee: _____ Payment: _____ Received Date: _____
Planning Board Approval: _____
City Council Approval: _____
Zoning Board of Appeals: _____

Zoning Application

Please select the appropriate Zoning Application you are requesting. The directions for each are listed on the following page.

Zoning Applications

☐ Rezoning \$200	☒ Zoning Board of Appeals \$150
☐ Planned Unit Development (PUD)	☐ Planning Commission Regular Business \$35
☐ Street Vacation \$200	(i.e., Sign Reviews)
☐ Special Land Use \$150	☐ Site Plan Reviews \$85 (Includes 2 reviews
☐ Plat (includes Preliminary & Final) \$200	Additional reviews charged \$50/Hr by Fire Marshall)

Owner Name Jada & Doug Schmittling Owner Telephone [REDACTED]
Owner Address [REDACTED] Owner Email [REDACTED]
Applicant/Representative Jada & Doug Schmittling Applicant Tel [REDACTED]
Applicant Address [REDACTED] Applicant Email [REDACTED]
Subject Property Address 1302 Walnut St.
Legal Description of Subject Property *Legal Description is preferred submitted electronically in WORD Format*

Total Acreage _____ Building Dimensions (LxWxH) _____
Construction Type _____ Number of Stories _____
Zone Classification: Present _____ Proposed _____
Present Use of Property _____
Proposed Use of Property _____

The City of Cadillac must be given knowledge of every person having legal or equitable interest in land subject to this petition. It must include:

NAME, ADDRESS, EMAIL ADDRESS, PHONE NUMBER, and INTEREST

1. _____
2. _____
3. _____
4. _____

I hereby certify that I have a legal or equitable interest in all land subject to this petition and hereby grant permission allowing City personnel on the premises.

Jada Schmittling
Signature of Owner

8/18/25
Date

Signature of Applicant

Date

RECEIVED

SEP 02 2025

1302 Walnut Street

August 18, 2025

Zoning Board of Appeals,

First, I would like to thank you for the opportunity for us to meet with you and work on a way to make 1302 Walnut Street a place for our future home.

Our mission with this property is to place a single family home that we will live in for the rest of our lives. We want to build a ~1900 sq foot home with a two car garage to have the space we desire to grow our family.

To be perfectly honest, we should have spoken to the building department first before purchasing the blueprints, but after a long time of searching we found the one that we love and will function for us and for our future. After we made this purchase, we found out that we will need 3 exceptions for our variances. As this is a corner lot, we chose to follow the variance for the front yard (being a R2 zone) of 25 feet. Unfortunately, we couldn't meet the side variance of 8 feet and could only do 5 feet for the sides of the house on both sides, next to our neighbor and the lot line for Rogers Street. With the size of house, that leaves the back yard at 15 feet instead of the zoning variance of 30 feet.

As this property is in the city and is a corner lot, the variances make it difficult to build any full sized family home without having to build upwards. There are several homes in our area that are on small sized lots and have little to no space to add on any type of additions. My husband and I live currently on 1103 Walnut Street and our house is ~ 800 sq feet and with just the two of us, we are bursting at the seams. Unfortunately, our current lot is 50x125 feet so the only way to add on is to go backwards and completely change the look of the house. Then, when 1302 went for sale, we purchased this in hope to build a modest sized home for us to live and grow into. After meeting with the building department and learning about the zoning variances, we found the maximum size house we could build was 44 feet by 45 feet which is a compact size house. Ideally, we do not want to build a two story house and most of the homes in our neighborhood are one story. I think that also makes our neighborhood feel more intimate - we are not surrounded by lots of two story homes. Also, our home we chose is close to the edge of our property line, but with it being one story and Rogers Street being a yield street there should be no issues with people being able to see past our home.

After looking at other homes in the neighborhood, I have noticed that a lot of them are smaller due to the fact there are variances that prevent any medium to larger size homes from being built there. It is about half a mile from the high school which is perfect for a family home with children. This will not only increase the value of the neighborhood, it will also increase the appeal since its size is just right, especially being close to school. My husband and I are also landlords and currently have two rentals ourselves. We know there is a house shortage and by building a house for us to live, we can use our current home to be another place for people to live in as a rental.

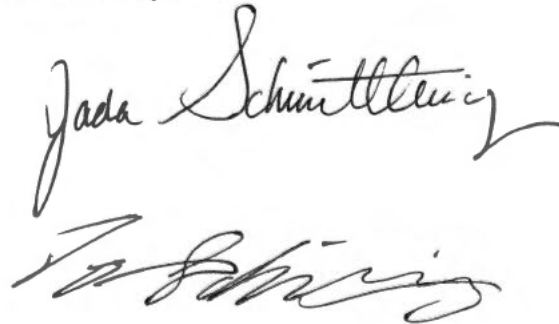
Our rental property (515 N Lake street) is a good example of a house that does not meet zoning requirements from the property line. It is so close to the line and yet with support of the neighbors, the tenants are able to go on their property in order to mow the side yards. We have spoken to several of our neighbors about this and they have said they will be glad to finally have someone live there. We have also included some letters from our neighbors to help support us and give their input on this request.

I know this decision is not taken lightly and I do appreciate your time and thoughts on this. I was born and raised here and I am excited to have my future family grow up here as well. Thank you for your consideration and we appreciate all that you do!

Jada Schmittling

&

Douglas Schmittling

The image shows two handwritten signatures in black ink. The top signature is for Jada Schmittling, written in a cursive style. The bottom signature is for Douglas Schmittling, also in cursive. The signatures are positioned to the right of the printed names.

Dear Zoning board of appeals ,

It is my great pleasure to recommend Doug and Jada Schmittling to build their new house at 1302 Walnut st Cadillac, MI. They are very quiet neighbors and they maintain their house and yard so it doesn't look unappealing. This reflects a high standard of responsibility and awareness for the community.

In addition, Doug and Jada have been a positive influence in our neighborhood and community. They are courteous and respectful to all neighbors and give back to the community by officiating soccer locally at CASA. This couple always seeks to grow and improve themselves to be the best they can be.

Furthermore, I have had the opportunity to interact with Jada and Doug on a few occasions and have found them polite, positive, and cooperative. I recognize the gravity of the situation when it comes to the zoning regulations. However, I humbly ask you to take this into consideration when it comes to making the decision on the appeal. They will follow through with any project they set out to accomplish and would be a great addition to our neighborhood.

Sincerely,

Heather Goodman
Thomas A. Goodman



Dear Zoning board of appeals ,

I hope this letter finds the board well. I am writing to recommend Doug & Jada Schmittling for this appeal. Doug & Jada are quiet and respectful neighbors. They never cause problems in the community. Based on how they take care of their property they care about being good neighbors.

I believe their new house will be no issue to us and will bring good value to this neighborhood. I hope the board strongly considers granting them the appeal.

Sincerely,

Nloria A. Wetherford



To the Zoning Board of Appeals,

We are neighbors of Doug & Jada Schmittling at 1103 Walnut St Cadillac, MI, and we're writing to show our support for them and their request before the Board.

They've been a great part of the neighborhood—always friendly, quiet, and respectful. Their home is well-kept, and they've never caused any issues or disturbances. It's clear they care about being good neighbors.

Outside of that, Doug & Jada Schmittling also gives back to the community by refereeing youth soccer games. It's a great way to support local kids and families, and we think it says a lot about their character and commitment to the community.

We believe they're a great fit for this neighborhood and truly want to stay because they appreciate the peaceful environment just like the rest of us. We hope the Board will take this into account.

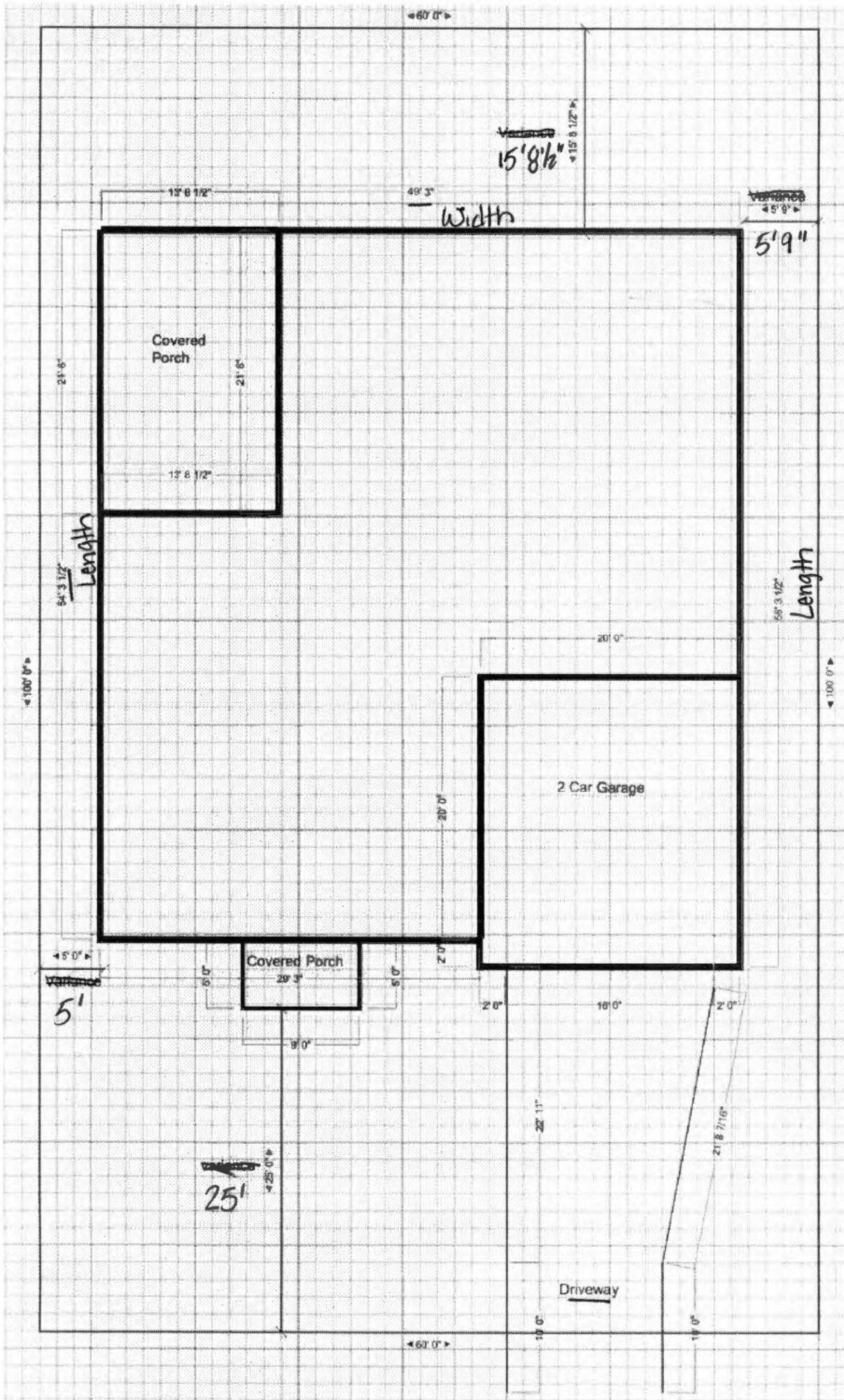
Sincerely,

A handwritten signature in black ink, followed by a solid black rectangular redaction box covering the name.

Both porches
are covered
(by roof)

Lot:
60' x 100'

Note: there is
no full
driveway
just the
street entrance



A1.0

CUSTOM CHANGES

ReDesign HP

ORIGINAL DESIGN

Value Home Plans.com

"This plan is a derivative and has been modified by ReDesign HP from the original Value Home Plans.com

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"Building codes are subject to various changes and interpretations. The purchaser is responsible for compliance with all local and national building codes, ordinances, site conditions, subdivision restrictions, and structural design. A licensed engineer should review your plans before you apply for a building permit and before construction begins.

"Final selections of materials are the responsibility of the homeowner and/or builder, including, but not limited to proper installation of materials, nailing, gluing, caulking, insulating, flashing, roofing, waterproofing and many other small items and details not necessarily indicated on the plans, and over which ReDesign HP and Value Home Plans.com has no control or responsibility. ReDesign HP and Value Home Plans.com shall not be held liable for any errors, omissions, or deficiencies in any form by any party whatsoever.

"You may loan all or part of the plans to third parties including contractors and sub-contractors for the sole purpose of the construction of your house. You agree to retrieve all loaned copies of the plans after construction is completed. Mortgage companies and building officials may retain plans for their records.

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"Unauthorized use or copying of the plans, or the design they depict infringes upon rights under the copyright act. Copyright infringement carries penalties of up to \$100,000 per infringement.

The framing notes are a carry over from the original drawings and need to be coordinated and reviewed with a local licensed structural engineer to comply with local codes.

GREEN BUILDING REQUIREMENTS

• AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE PROVIDED WITH INTEGRAL RAIN SENSORS OR SOIL MOISTURE SENSORS THAT ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE. (GBC SECTION 4.304.1)

• ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR ACCEPTABLE METHOD. (GBC SECTION 4.406)

• A MINIMUM OF 65 PERCENT OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE. (GBC SECTION 4.408.1)

• AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED PRIOR TO FINAL INSPECTION. (GBC SECTION 4.410.1)

• GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. WOOD/PELLET STOVES SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS. (GBC SECTION 4.503.1)

• DUCT AND VENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. (GBC SECTION 4.504.1)

• ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. (GBC SECTION 4.504.2.1)

• PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. (GBC SECTION 4.504.2.2)

• AEROSOL PAINTS AND COATING SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS. (GBC SECTION 4.504.2.3)

• DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (GBC SECTION 4.504.2.4)

• CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. (GBC SECTION 4.504.3)

• 80 PERCENT OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOOR SCORE PROGRAM. (GBC SECTION 4.504.4)

• PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. (GBC SECTION 4.504.5)

• MOISTURE CONTENT OF BUILDING MATERIALS USED IN ENCLOSED WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE AND CANNOT EXCEED 19%. (GBC SECTION 4.505.3)

• WHOLE HOUSE EXHAUST FANS SHALL HAVE INSULATED LOUVERS OR COVERS WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION VALUE OF R-42. (GBC SECTION 4.507.1)

• HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. (GBC SECTION 702.1)

PROJECT INFO

SCOPE OF WORK:

THIS PROJECT SHALL CONSIST OF THE CONSTRUCTION OF ONE NEW SINGLE-STORY STRUCTURE.

PROPOSED AREA:

CONDITIONED AREA = 1986 SQ FT
GARAGE AREA = 440 SQ FT
COMBINED COVERED PORCH AREA = 336 SQ FT
TOTAL AREA = 2762 SQ FT

No. OF LEVELS:

SINGLE STORY / 1 LEVEL

WALL STRUCTURE:

EXTERIOR WALLS - 2X6 WD STUDS @ 16" O.C. w/ R21 INSULATION MIN.
INTERIOR WALLS - 2X4 WD STUDS @ 16" O.C. w/ NO INSULATION U.N.O.

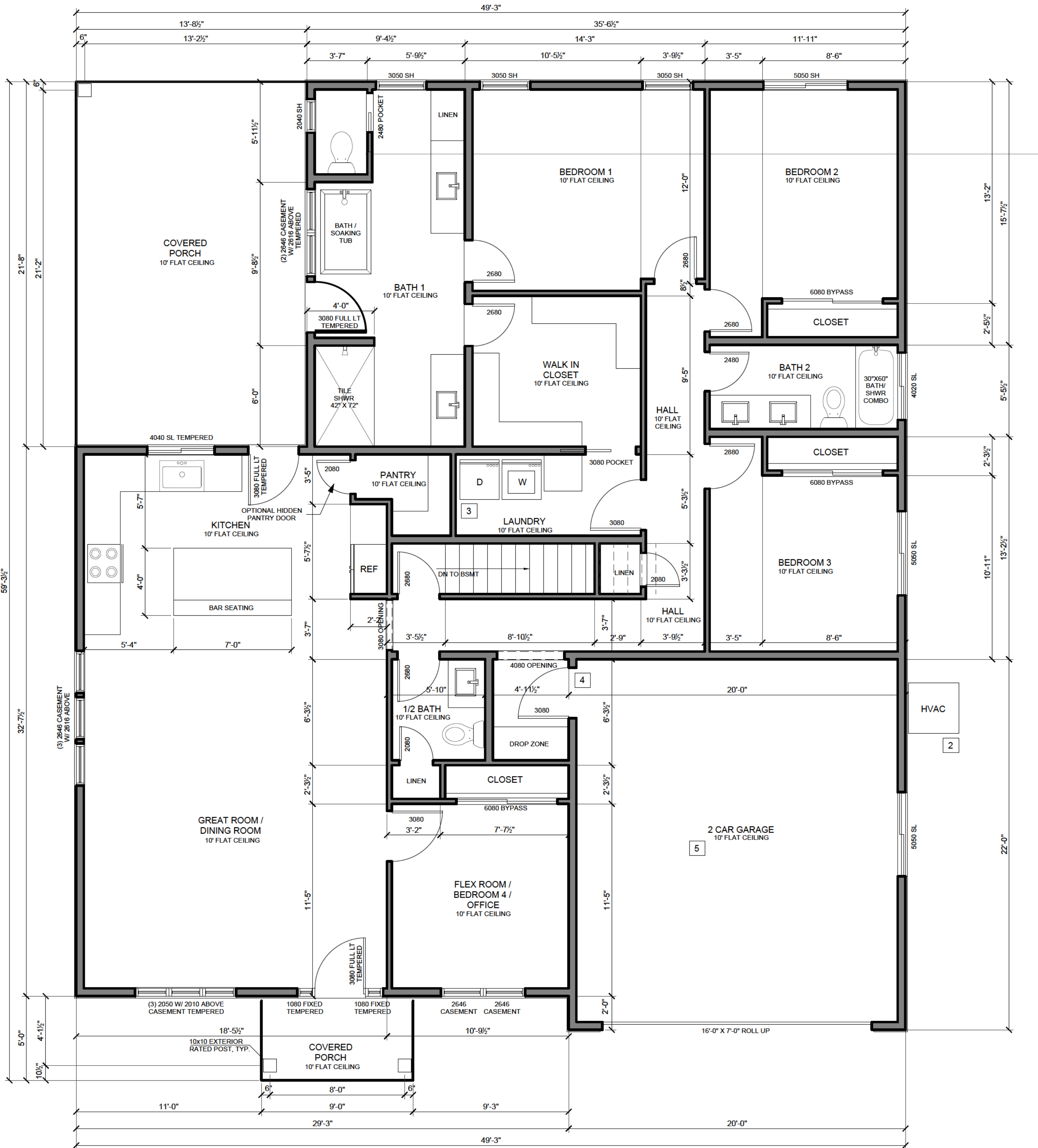
ROOF STRUCTURE:

MANUFACTURED ROOF TRUSSES - LOCALLY DESIGNED (DEFERRED SUBMITTAL) W/ R38 INSULATION MIN.

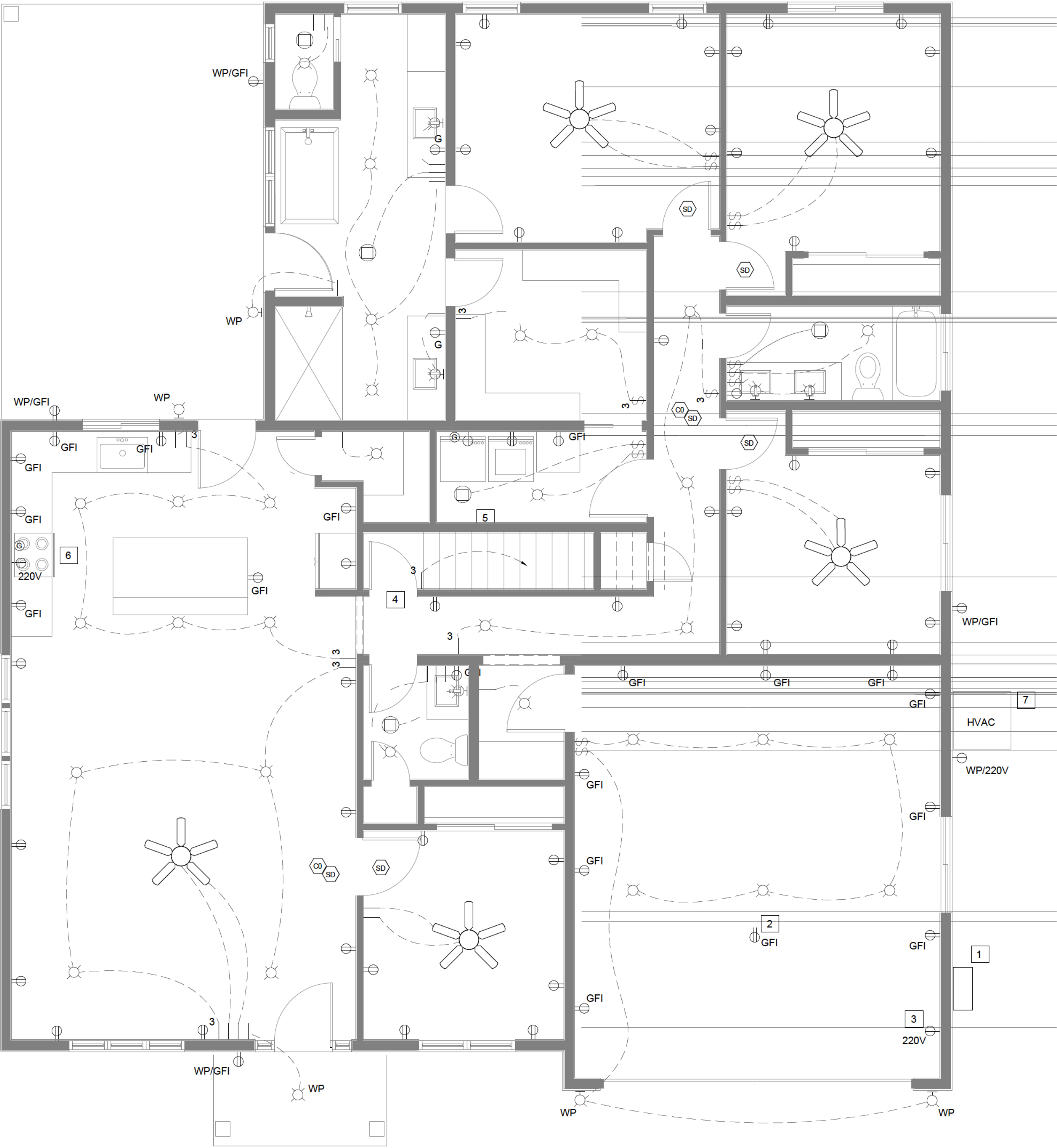
KEYNOTES:

- 1 - ELECTRIC HYBRID HEAT PUMP WATER HEATER, INSTALLED PER MFR INSTALLATION INSTRUCTIONS. THE T & P VALVE SHALL DISCHARGE TO THE EXTERIOR, STRAP AND SECURE, LOCATED A MIN. 18" ABOVE GARAGE FLOORS AND SAFETY DRAIN PAN IN ATTICS OR WHERE DAMAGE MAY OCCUR.
- 2 - ESTIMATED LOCATION OF HVAC PAD. CONFIRM EXACT LOCATION WITH HVAC INSTALLER.
- 3 - VENT DRYER DIRECTLY TO OUTSIDE. MAX LENGTH 14' WITH NO MORE THAN (2) 90 DEGREE ELBOWS.
- 4 - 1-3/8" SOLID CORE 1-HR RATED DOOR W/ SELF CLOSING AND SELF LATCHING DEVICES.
- 5 - APPLY 5/8" TYPE "X" GYP. BOARD ON ALL WALLS OF GARAGE AND 2 LAYERS ON GARAGE CEILING.

PLUMBING FIXTURES & FITTINGS FLOW REQUIREMENTS	
TOILETS	≤ 1.28 GAL/FLUSH
LAVATORY FAUCETS	≤ 1.2 GPM @ 60 PSI
SHOWER HEADS	- SINGLE FAUCETS ≤ 1.8 GPM @ 80 PSI - MULTIPLE FAUCETS COMBINED FLOW RATE NOT TO EXCEED 2.0 GPM @ 80 PSI OR ONLY ONE FAUCET SHALL OPERATE AT A TIME
KITCHEN FAUCETS	≤ 1.8 GPM @ 60 PSI TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM
METERING FAUCETS	≤ 1.5 GPM @ 60 PSI



FLOOR PLAN
1/4" = 1'-0"



ELECTRICAL FLOOR PLAN
1/4" = 1'-0"

ELECTRICAL NOTES U.N.O

- A. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF ALL CODES HAVING LOCAL JURISDICTION.
- B. DURING ENTIRE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL MAINTAIN ADEQUATE 2A-408BC FIRE EXTINGUISHERS READY FOR USE IN CASE OF FIRE.
- C. LIGHT, SWITCH, & RECEPTACLE SHALL BE PROVIDED AT ATTIC ACCESS.
- D. PROVIDE DISCONNECT WITHIN SIGHT OF AIR CONDITIONING UNIT.
- E. (TITLE 24) ENERGY CODES-
1) IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS, AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR.
2) ALL HARDWIRED LIGHTING IN OTHER ROOMS MUST BE FLUORESCENT OR ANOTHER TYPE OF HIGH-EFFICACY LIGHTING OR MUST BE CONTROLLED BY A MANUAL-ON OCCUPANT SENSOR OR CONTROLLED BY A DIMMER. "OTHER ROOM" INCLUDES HALLWAYS, DINING ROOMS, FAMILY ROOMS, BEDROOMS, ETC WITH LESS THAN 70 SF. OF FLOOR ARE EXEMPT.
3) ALL OUTDOOR LIGHTING ATTACHED TO A BUILDING MUST BE FLUORESCENT OR ANOTHER TYPE OF HIGH-EFFICACY LIGHTING OR MUST BE CONTROLLED BY A MOTION SENSOR WITH INTEGRAL PHOTO/CONTROL. ALL OUTDOOR ELECTRICAL SHALL BE LISTED FOR USE IN DAMP LOCATIONS.
- F. ALL RECESSED LIGHTING INTO INSULATED CEILINGS SHALL BE APPROVED FOR ZERO CLEARANCE INSULATION COVER AND BE AIRTIGHT.
- G. ALL ELECTRICAL FIXTURES, APPLIANCES, AND WIRING TO CONFORM TO ARTICLE 400 FOR FIXTURES, APPLIANCES, AND WIRING REQUIREMENTS.
- H. RECEPTACLE OUTLETS IN ALL LIVING AREAS, OTHER THAN KITCHEN COUNTERS, LAUNDRY ROOMS, BATHROOMS AND HALLS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE. THE FLOOR LINE CONTINUES AROUND CORNERS. EACH WALL SPACE 2 FEET OR MORE ALONG THE WALL LINE MUST BE CONSIDERED SEPARATELY. IN KITCHENS AND DINING AREAS OF DWELLING UNITS A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE WIDER THAN 12 INCHES. RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES FROM A RECEPTACLE OUTLET IN THAT SPACE. THE WALL LINES CONTINUE AROUND CORNERS. COUNTER TOPS SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES.
- I. PROVIDE 2 SMALL APPLIANCE BRANCH CIRCUITS IN KITCHEN.
- J. PROVIDE MIN. DEDICATED CIRCUITS AS FOLLOWS: 2 BRANCH CIRCUITS SERVING THE KITCHEN, PANTRY, DINING, AND/OR BREAKFAST ROOM; 1 FOR THE LAUNDRY ROOM, AND 1 FOR THE BATHROOMS.
- K. ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES INSTALLED IN A RESIDENCE SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- L. ALL 120 V, SINGLE PHASE, 15 AND 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOMS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- M. PROVIDE AN INTERSYSTEM BONDING ELECTRODE WHICH INCLUDES AT LEAST TREE GROUNDING OR BONDING CONDUCTORS REQUIRED FOR COMMUNICATIONS SYSTEMS SHALL BE INSTALLED EXTERNALLY AT THE SERVICE ENTRANCE PANEL.
- N. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN DAMP LOCATIONS UNDER CANOPIES AND ROOFED PORCHES NOT SUBJECT TO BEATING RAIN MUST BE A LISTED WEATHER-RESISTANT TYPE WHEN THE PLUG IS NOT INSERTED.
- O. ALL 15 OR 20 AMP, 125 OR 250 VOLT RECEPTACLES INSTALLED OUTDOORS IN WET LOCATIONS MUST BE A LISTED WEATHER-RESISTANT TYPE WHEN THE PLUG IS INSERTED.
- P. PROVIDE GFCI PROTECTED, 120 V RECEPTACLE WITHIN THREE (3) FEET OF THE WATER HEATER AND SHALL BE ACCESSIBLE WITH NO OBSTRUCTIONS.

ELECTRICAL KEYNOTES

- 1 - APPROX LOCATION OF 200AMP ELECTRICAL SERVICE PANEL
- 2 - PROVIDE CEILING MOUNTED POWER FOR GARAGE DOOR OPENER.
- 3 - IPROVIDE DEDICATED POWER FOR ELECTRIC VEHICLE CHARGER.
- 4 - PROVIDE POWER FOR WATER HEATER PER MFR REQUIREMENTS.
- 5 - THIS FAN SHALL BE CONTINUOUSLY OPERATING. THIS FAN MAY BE ON A SWITCH, AS LONG AS THIS SWITCH IS LABELED TO STATE "FAN SHOULD BE ON WHENEVER THE HOME IS OCCUPIED". 50 CFM MIN. DUCT SIZ PER FAN MFR.
- 6 - EXHAUST KITCHEN HOOD DIRECTLY TO OUTSIDE. 100 CFM MIN. DUCT SIZING PER MFR REQUIREMENTS. THIS FAN MUST BE LISTED AT 3 SONES OR LESS FOR NOISE. THE RATING MUST BE BASED ON A WATER COLUMN OF .25 OR GREATER.
- 7 - ESTIMATED LOCATION OF HVAC COMPRESSOR. EXACT LOCATION PER MFR REQUIREMENTS.



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Jada Schmittling
1103 Walnut Street
Cadillac, MI 49601

DATE	: JULY/16/2025
SCALE	: AS NOTED
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PROJECT	: Jada Schmittling

SHEET

A2.0

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Jada Schmittling

1103 Walnut Street

Cadillac, MI 49601

DATE : JULY/16/2025

SCALE : AS NOTED

DRAWN BY: -----

PROJECT : Jada Schmittling

SHEET

50 YEAR CLASS "A" COMP ROOFING
(INSTALLED PER MFR SPECS) OVER 30 LB
FELT OVER 1/2" CDX PLY (CCX @ EXPOSED
CONDITION REQUIRING FIRE RATED) NAILED
W/ 8d @ 6" O.C. EDGES, 12" O.C. FIELD.

SIMPSON POST CAP @ EACH
BEAM TO POST CONNECTION.
CHECK LOCAL STRUCTURAL
LOADS TO CONFIRM REQUIRED
SIZE, TYP.

LET BEAM INTO WALL. TYP.

2X GANG NAIL TRUSSES @ 24" O.C.
PROVIDED BY TRUSS MFR. CHECK
LOCAL STRUCTURAL LOADS TO
CONFIRM REQUIRED SIZE, TYP.

GANG NAIL VALLEY
TRUSSES OR 2X VALLEY
FILL OVER FRAMING PER
TRUSS MFR

GANG NAIL VALLEY
TRUSSES OR 2X VALLEY
FILL OVER FRAMING PER
TRUSS MFR

2X GANG NAIL TRUSSES @ 24" O.C.
PROVIDED BY TRUSS MFR. CHECK
LOCAL STRUCTURAL LOADS TO
CONFIRM REQUIRED SIZE, TYP.

2X6 LEDGER W/ 3/8" X 5" LAGS @
16" O.C. LUS24 HANGER @ EA.
RAFTER CHECK LOCAL
STRUCTURAL LOADS TO
CONFIRM REQUIRED SIZE, TYP.

SIMPSON POST CAP AT EACH POST
TO BEAM CONNECTION. CHECK
LOCAL STRUCTURAL LOADS TO
CONFIRM REQUIRED SIZE, TYP.

STANDING METAL SEAM ROOF FINISH (INSTALLED PER
MFR SPECS) OVER 30 LB FELT OVER 1/2" CDX PLY (CCX
@ EXPOSED CONDITION REQUIRING FIRE RATED)
NAILED W/ 8d 8" O.C. EDGES, 12" O.C. FIELD. OVER 2X8
DF #1 RAFTERS @ 16" O.C. CHECK LOCAL STRUCTURAL
LOADS TO CONFIRM REQUIRED SIZE, TYP.

ROOF PLAN
1/4" = 1'-0"

ROOF NOTES:

- A. GUTTERS SHALL BE INSTALLED WITH COVERS THAT WHICH MITIGATE THE ACCUMULATION OF DEBRIS.
- B. LOCATION OF HVAC EQUIPMENT SHALL BE DETERMINED BY INSTALLER.
- C. PROVIDE ATTIC VENTING AS FOLLOWS IF USING MFR'D TRUSSES;
1 SQ. FT. FOR EACH 150 SQ. FT. OF ATTIC SPACE WITH 1/4" MESH SCREEN VENTS
IF WILDLAND URBAN INTERFACE APPLIES, VENTING IS REQUIRED TO BE 1/16" MIN. & 1/8" MAX MESH SCREEN.
- D. ALL HEADERS TO BE DF #1 GRADE U.N.O.
- E. ROOF DECK SHALL BE NON-COMBUSTIBLE OR IGINATION RESISTANT MATERIALS.
- F. SEE TRUSS MFR DRAWINGS FOR ROOF TRUSS LAYOUT AND CALCULATIONS.

ROOF VENTING:

1986 SQ FT ATTIC SPACE / 150 = 13.24 SQ FT X 144 = 1907 SQ IN VENTILATION REQUIRED

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THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO
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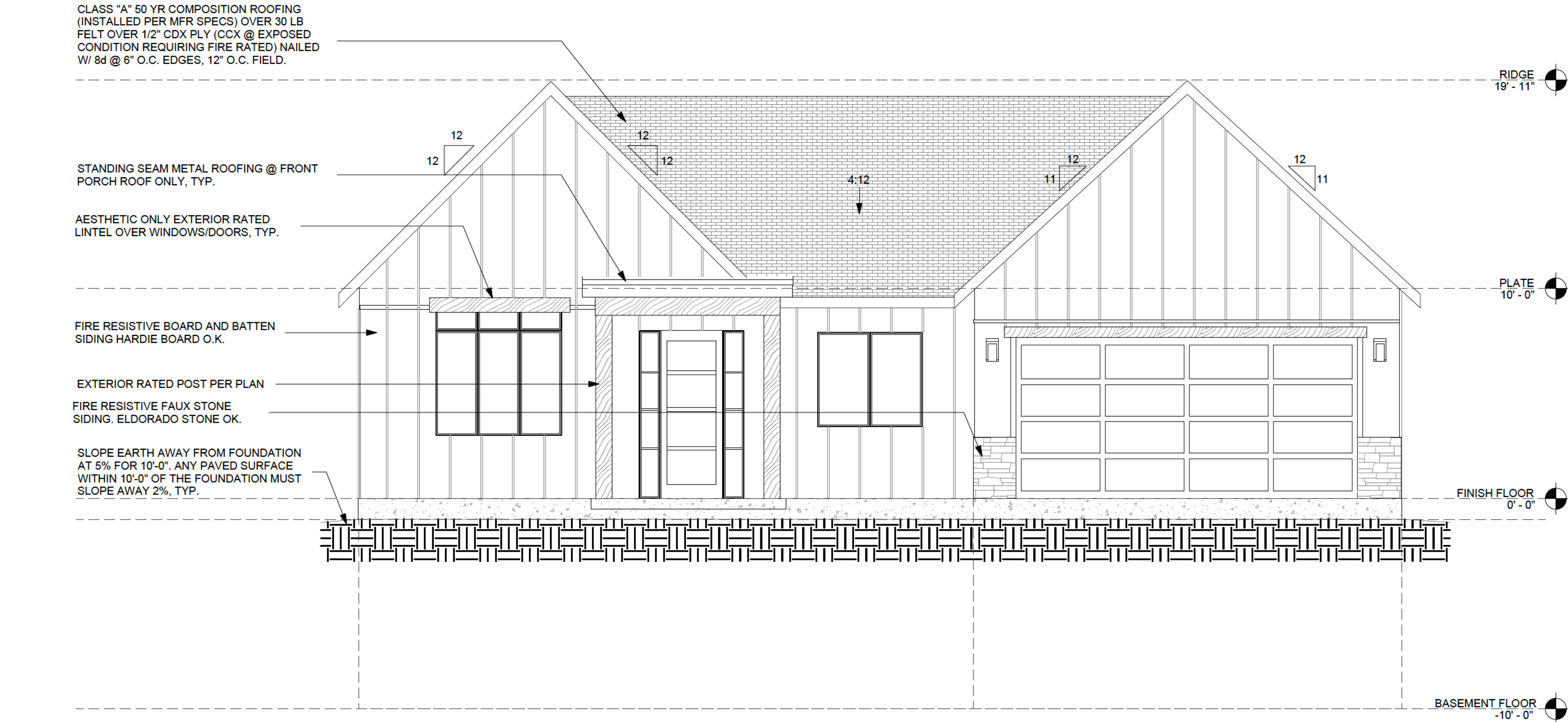
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Cadillac, MI 49601

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SHEET	



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

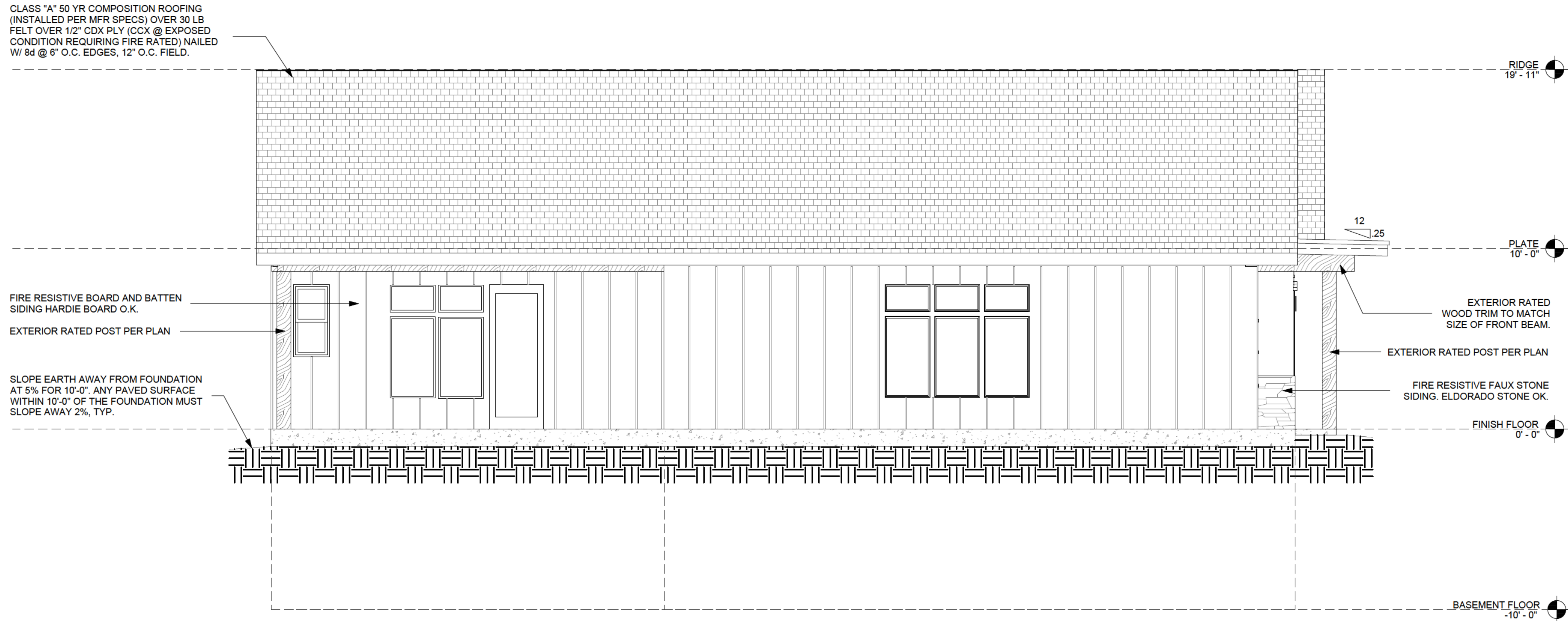
- ROOF NOTES:**
- A. GUTTERS SHALL BE INSTALLED WITH COVERS THAT WHICH MITIGATE THE ACCUMULATION OF DEBRIS.
 - B. LOCATION OF HVAC EQUIPMENT SHALL BE DETERMINED BY INSTALLER.
 - C. PROVIDE ATTIC VENTING AS FOLLOWS IF USING MFR'D TRUSSES; 1 SQ. FT. FOR EACH 150 SQ. FT. OF ATTIC SPACE WITH 1/4" MESH SCREEN VENTS IF WILDLAND URBAN INTERFACE APPLIES, VENTING IS REQUIRED TO BE 1/16" MIN. & 1/8" MAX MESH SCREEN.
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 - F. SEE TRUSS MFR DRAWINGS FOR ROOF TRUSS LAYOUT AND CALCULATIONS.

ROOF VENTING:

1986 SQ FT ATTIC SPACE / 150 = 13.24 SQ FT X 144 = 1907 SQ IN VENTILATION REQUIRED

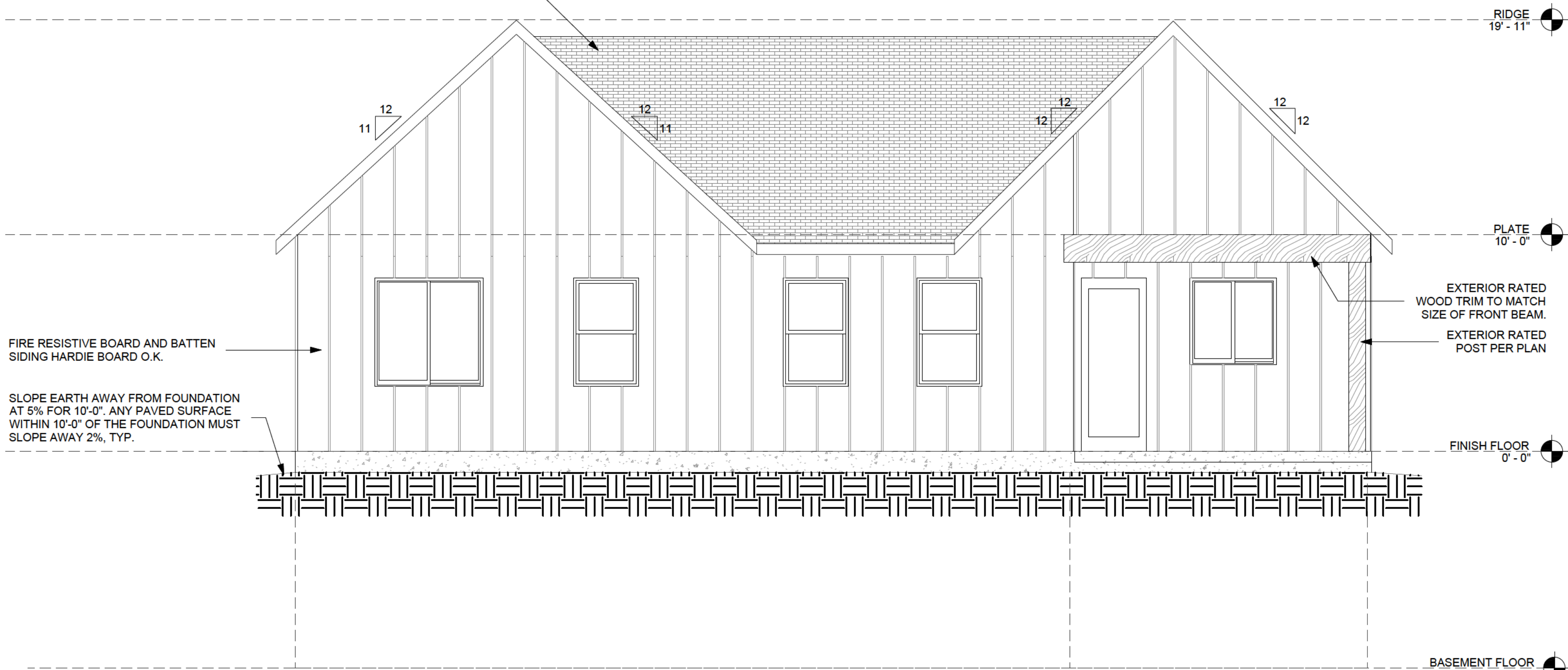
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RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

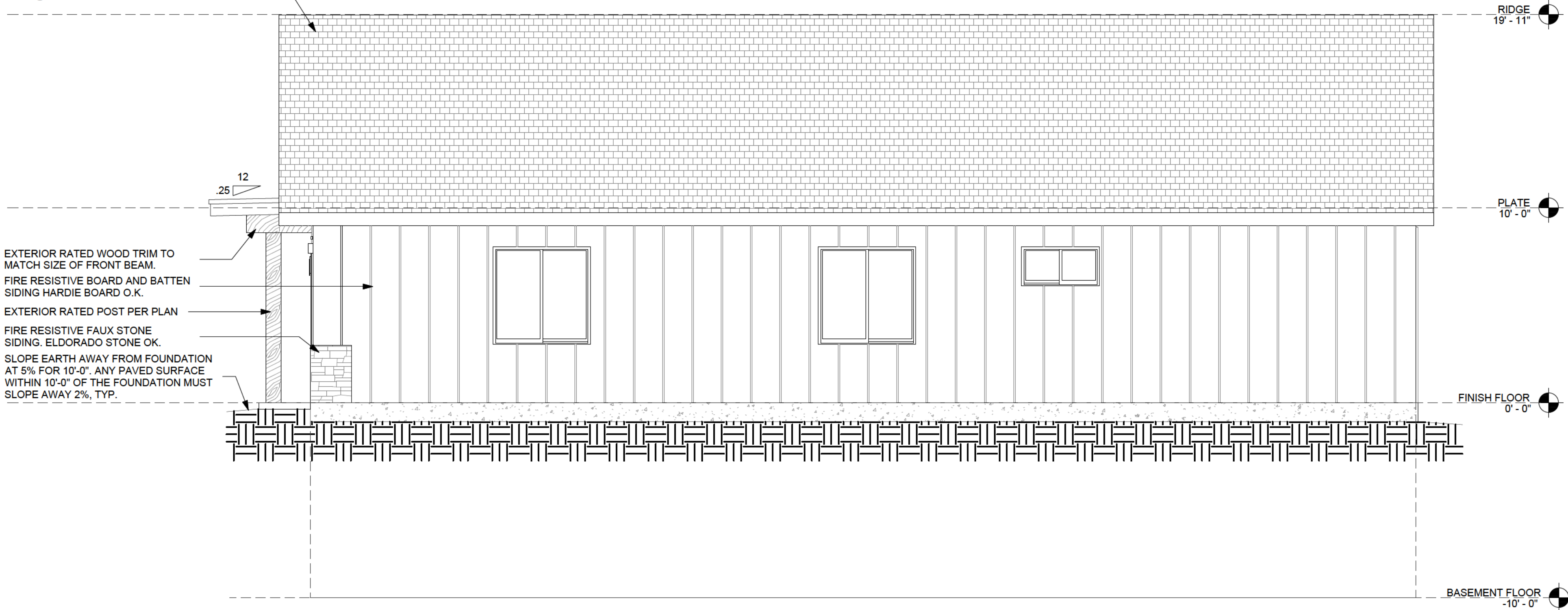
CLASS "A" 50 YR COMPOSITION ROOFING
(INSTALLED PER MFR SPECS) OVER 30 LB
FELT OVER 1/2" CDX PLY (CCX @ EXPOSED
CONDITION REQUIRING FIRE RATED) NAILED
W/ 8d @ 6" O.C. EDGES, 12" O.C. FIELD.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

CLASS "A" 50 YR COMPOSITION ROOFING
(INSTALLED PER MFR SPECS) OVER 30 LB
FELT OVER 1/2" CDX PLY (CCX @ EXPOSED
CONDITION REQUIRING FIRE RATED) NAILED
W/ 8d @ 6" O.C. EDGES, 12" O.C. FIELD.



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

ROOF NOTES:

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- LOCATION OF HVAC EQUIPMENT SHALL BE DETERMINED BY INSTALLER.
- PROVIDE ATTIC VENTING AS FOLLOWS IF USING MFR'D TRUSSES;
1 SQ. FT. FOR EACH 150 SQ. FT. OF ATTIC SPACE WITH 1/4" MESH SCREEN VENTS
IF WILDLAND URBAN INTERFACE APPLIES, VENTING IS REQUIRED TO BE 1/16" MIN.
& 1/8" MAX MESH SCREEN.
- ALL HEADERS TO BE DF #1 GRADE U.N.O.
- ROOF DECK SHALL BE NON-COMBUSTIBLE OR IGINATION RESISTANT MATERIALS.
- SEE TRUSS MFR DRAWINGS FOR ROOF TRUSS LAYOUT AND CALCULATIONS.

ROOF VENTING:

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REF-1

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